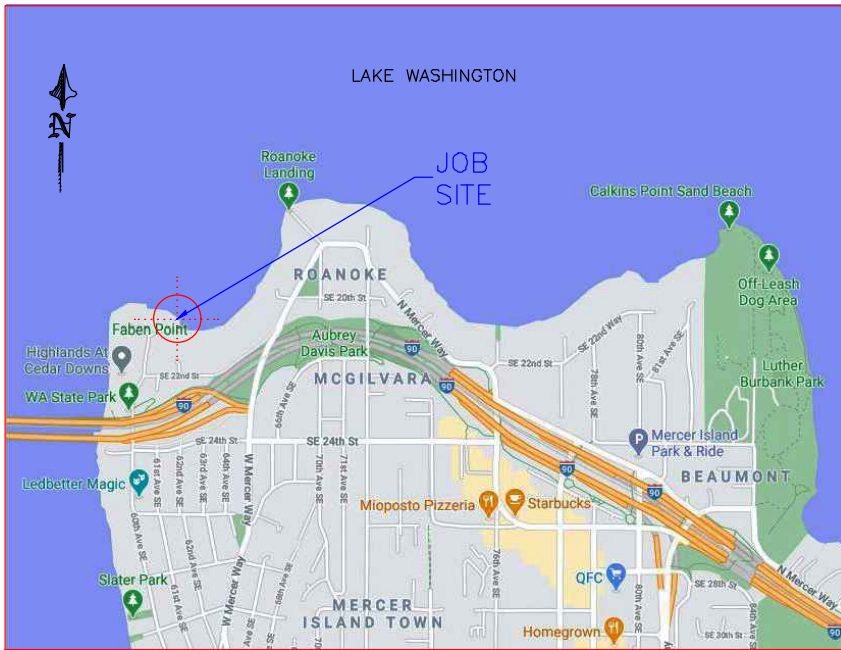
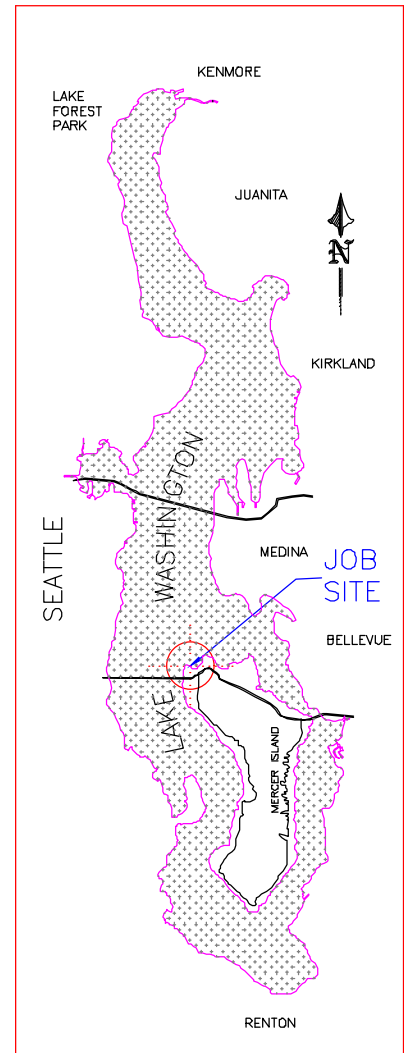


VICINITY MAP/NO SCALE



AREA MAP/NO SCALE



LEGAL DESCRIPTION

SECTION: SE-02-24-04      LAT: 47.592649 (47° 35' 33.5364" N)  
 TAXLOT #: 243970-0110      LONG: -122.251115 (122° 15' 4.014" W)

FABENS POINT WATERFRONT TRS E 1/2 OF 18 ALL 19 TGW POR VAC ELIZABETH WAY LY BET C/L OF TR 18 & E LN OF TR 19 PROD SLY & W 1/2 VAC MERCER ST PROD NLY FR S LN OF TR 20 TO OUTER BDRY OF SH LDS & TGW SH LDS ADJ TGW POR OF TR 20 ELY OF LN BAAP ON S LN SD TR 20 N 89-55-45 W 92.06 FT FR SE COR THOF TH N 00-01-54 E PLT E LN SD TR 20 A DIST OF 268.52 FT TH S 89-55-45 E 2.06 FT TH N 00-01-54 E 44.50 FT TO N LN SD TR 20 LESS S 100 FT SD TR 20 TGW POR OF SD S 100 OF TR 20 & LESS POR SD VAC 62ND SE AS BOTH ARE SHOWN ON PLAT OF MI LLA 83-04-12 REC NO 8306299004 ALL OF SD ABOVE DESC BEING POR OF MI LLA 83-04-12 REC NO 8306299004

**REVISED**  
**12/22/2021**

PER CITY OF MERCER ISLAND COMMUNITY PLANNING & DEVELOPMENT DEPT. AFFILIATE  
 EMAIL DATED 12/20/2021.

PROJECT DESIGNED BY:

*Waterfront Construction Inc.*

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ADJACENT OWNERS:

- ① EJ FERULLO  
1910 FABEN DR  
MERCER ISLAND, WA 98040
- ② ERIC DAHLBERG  
6208 SE 22ND ST  
MERCER ISLAND, WA 98040

APPLICATION#:

PROPOSED: PIER REBUILD

PURPOSE: REPLACE FAILED PIER

DATUM: C.O.E. MLLW=0.0'

DWG#: 21-39001-A3-1

APPLICANT: MARK HOUTCHENS

SITE ADD. 6024 SE 22ND ST  
MERCER ISLAND, WA 98040

MAIL ADD. 6024 SE 22ND ST  
MERCER ISLAND, WA 98040

PAGE: 1 OF: 10 DATE: 11/3/2021

LAKE WASHINGTON

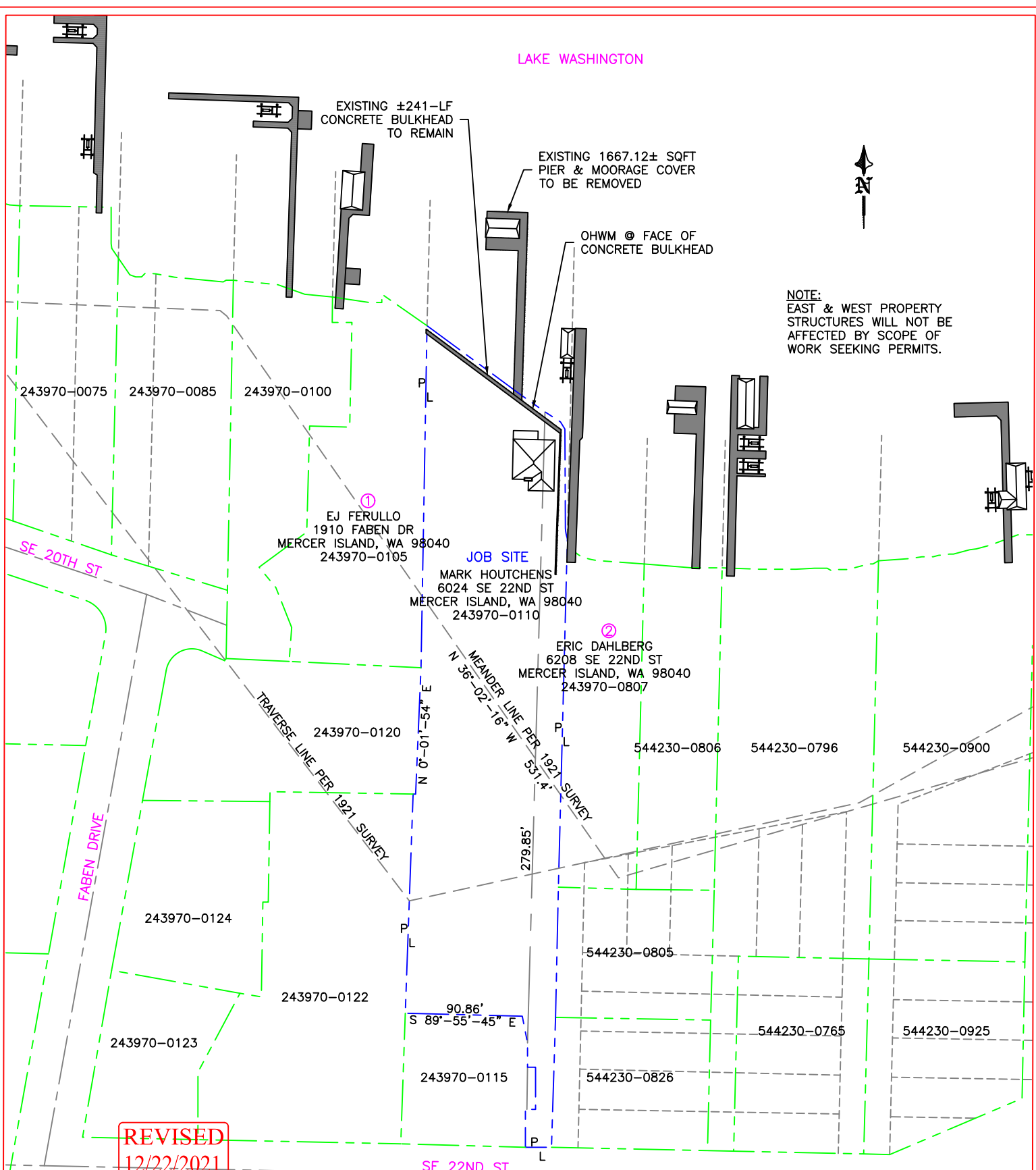
EXISTING ±241-LF  
CONCRETE BULKHEAD  
TO REMAIN

EXISTING 1667.12± SQFT  
PIER & MOORAGE COVER  
TO BE REMOVED

OHWL @ FACE OF  
CONCRETE BULKHEAD



NOTE:  
EAST & WEST PROPERTY  
STRUCTURES WILL NOT BE  
AFFECTED BY SCOPE OF  
WORK SEEKING PERMITS.



①  
EJ FERULLO  
1910 FABEN DR  
MERCER ISLAND, WA 98040  
243970-0105

JOB SITE  
MARK HOUTCHENS  
6024 SE 22ND ST  
MERCER ISLAND, WA 98040  
243970-0110

②  
ERIC DAHLBERG  
6208 SE 22ND ST  
MERCER ISLAND, WA 98040  
243970-0807

MEANDER LINE PER 1921 SURVEY  
N 56°-02'-16" W  
551.4'

TRAVERSE LINE PER 1921 SURVEY  
N 0°-01'-54" E  
279.85'

90.86'  
S 89°-55'-45" E

REVISED  
12/22/2021

PER CITY OF MERCER ISLAND COMMUNITY  
PLANNING & DEVELOPMENT DEPT. AFFILIATE  
EMAIL DATED 12/20/2021.

### EXISTING SITE PLAN

100' 50' 20' 0' 100'



SCALE: 1"=100'

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REFERENCE #:			
APPLICANT: MARK HOUTCHENS 6024 SE 22ND ST MERCER ISLAND, WA 98040			
PROPOSED: PIER REBUILD			
SHEET: 2	OF: 10	NEAR/AT: MERCER ISLAND	
DATE: 11/3/2021	DWG#: 21-39001-A3-2		

LAKE WASHINGTON

EXISTING ±241-LF  
CONCRETE BULKHEAD  
TO REMAIN

PROPOSED NEW 1094.2 SF DOCK

OHWL @ FACE OF  
CONCRETE BULKHEAD

NOTE:  
EAST & WEST PROPERTY  
STRUCTURES WILL NOT BE  
AFFECTED BY SCOPE OF  
WORK SEEKING PERMITS.



243970-0075 243970-0085 243970-0100

①  
EJ FERULLO  
1910 FABEN DR  
MERCER ISLAND, WA 98040  
243970-0105

JOB SITE  
MARK HOUTCHENS  
6024 SE 22ND ST  
MERCER ISLAND, WA 98040  
243970-0110

SE 20TH ST

②  
ERIC DAHLBERG  
6208 SE 22ND ST  
MERCER ISLAND, WA 98040  
243970-0807

TRVERSE LINE PER 1921 SURVEY

MEANDER LINE PER 1921 SURVEY  
N 36°-02'-16" W 531.4'

N 0°-01'-54" E  
279.85'

FABEN DRIVE

243970-0120 544230-0806 544230-0796 544230-0900

243970-0124

243970-0122

544230-0805

243970-0123

90.86'  
S 89°-55'-45" E

544230-0765

544230-0925

243970-0115

544230-0826

REVISED  
12/22/2021

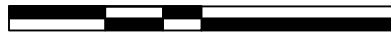
SE 22ND ST

PER CITY OF MERCER ISLAND COMMUNITY  
PLANNING & DEVELOPMENT DEPT. AFFILIATE  
EMAIL DATED 12/20/2021.

### PROPOSED SITE PLAN

PROJECT DESIGNED BY:

100' 50' 20' 0' 100'



SCALE: 1"=100'

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#### REFERENCE #:

APPLICANT: MARK HOUTCHENS  
6024 SE 22ND ST  
MERCER ISLAND, WA 98040

PROPOSED: PIER REBUILD

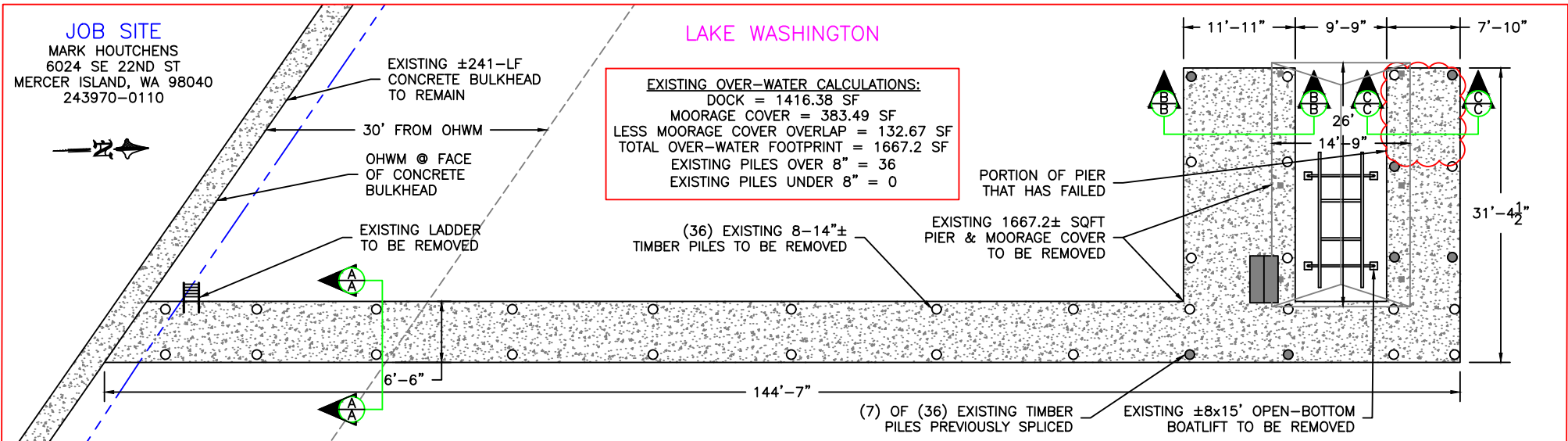
SHEET: 3 OF: 10 NEAR/AT: MERCER ISLAND

DATE: 11/3/2021 DWG#: 21-39001-A3-3

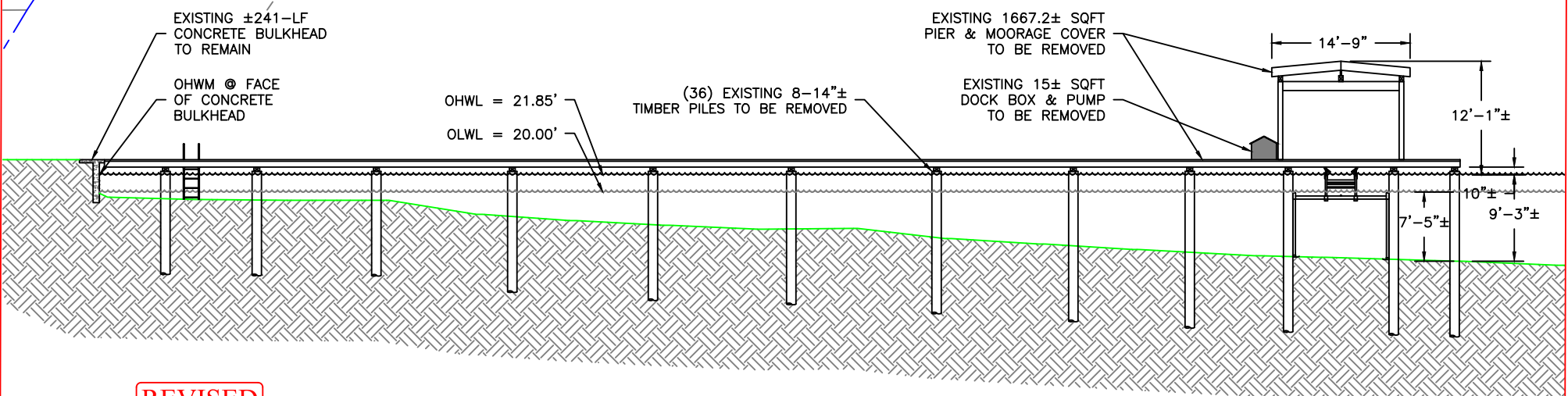
**JOB SITE**  
 MARK HOUTCHENS  
 6024 SE 22ND ST  
 MERCER ISLAND, WA 98040  
 243970-0110

**LAKE WASHINGTON**

**EXISTING OVER-WATER CALCULATIONS:**  
 DOCK = 1416.38 SF  
 MOORAGE COVER = 383.49 SF  
 LESS MOORAGE COVER OVERLAP = 132.67 SF  
 TOTAL OVER-WATER FOOTPRINT = 1667.2 SF  
 EXISTING PILES OVER 8" = 36  
 EXISTING PILES UNDER 8" = 0



**EXISTING PLAN DETAIL VIEW**  
 SCALE: 1/16"=1'



**EXISTING ELEVATION**  
 SCALE: 1/16"=1'

**REVISED**  
 12/22/2021

PER CITY OF MERCER ISLAND COMMUNITY  
 PLANNING & DEVELOPMENT DEPT. AFFILIATE  
 EMAIL DATED 12/20/2021.

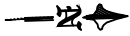
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<b>REFERENCE #:</b>		
APPLICANT: MARK HOUTCHENS 6024 SE 22ND ST MERCER ISLAND, WA 98040		
<b>PROPOSED: PIER REBUILD</b>		
SHEET: 4	OF: 10	NEAR/AT: MERCER ISLAND
DATE: 11/3/2021	DWG#: 21-39001-A3-4	

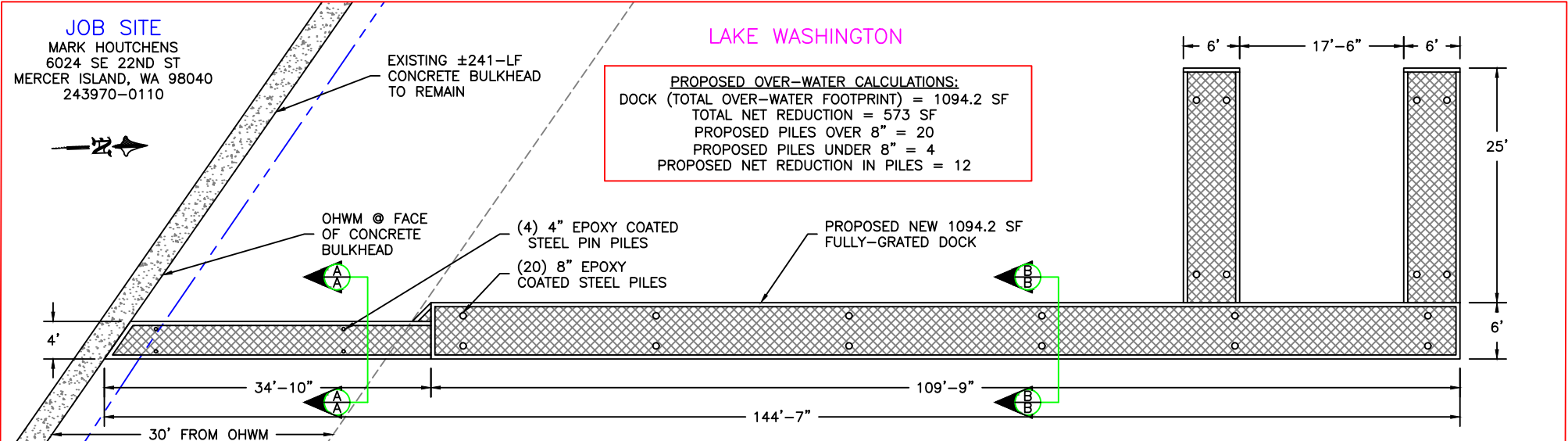
**JOB SITE**

MARK HOUTCHENS  
6024 SE 22ND ST  
MERCER ISLAND, WA 98040  
243970-0110

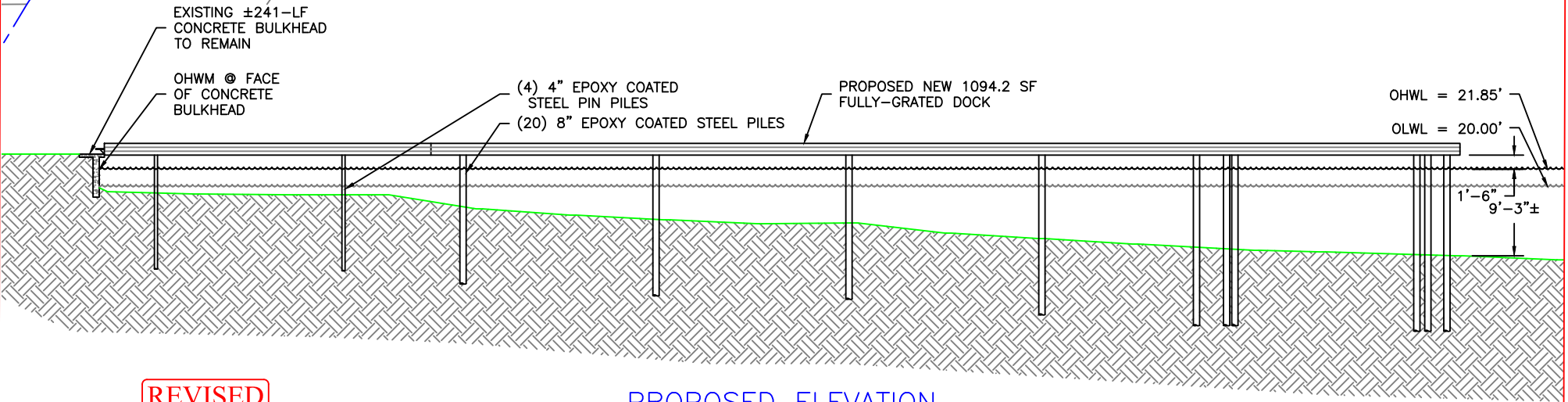


**LAKE WASHINGTON**

**PROPOSED OVER-WATER CALCULATIONS:**  
DOCK (TOTAL OVER-WATER FOOTPRINT) = 1094.2 SF  
TOTAL NET REDUCTION = 573 SF  
PROPOSED PILES OVER 8" = 20  
PROPOSED PILES UNDER 8" = 4  
PROPOSED NET REDUCTION IN PILES = 12



**PROPOSED PLAN DETAIL VIEW**  
SCALE: 1/16"=1'



**PROPOSED ELEVATION**  
SCALE: 1/16"=1'

**REVISED**  
12/22/2021

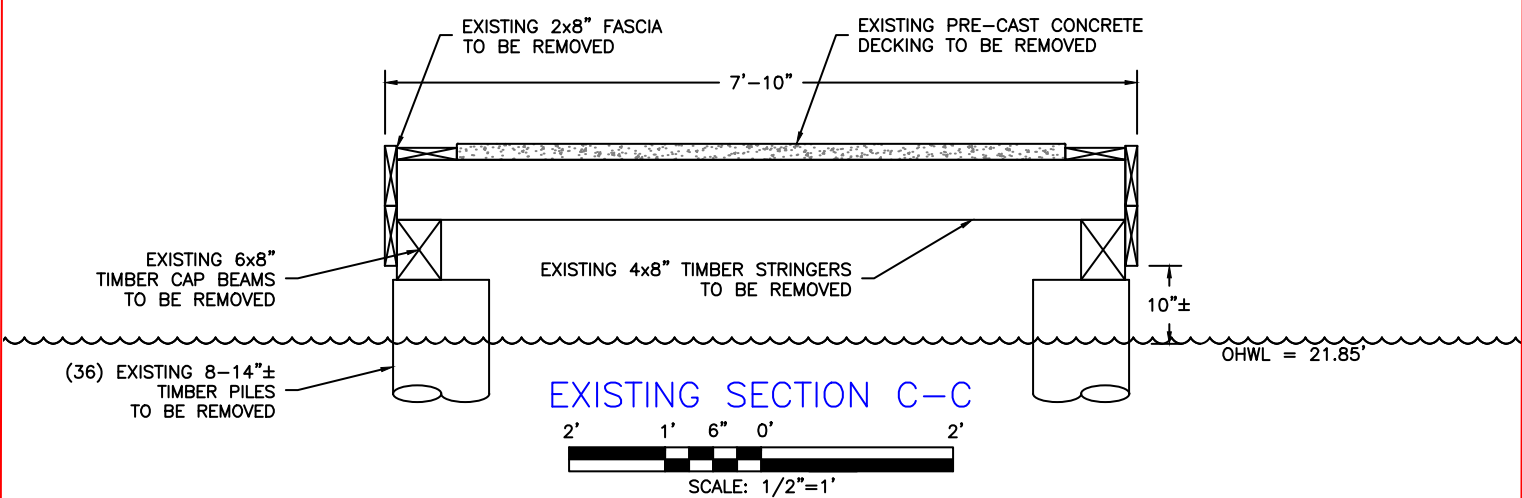
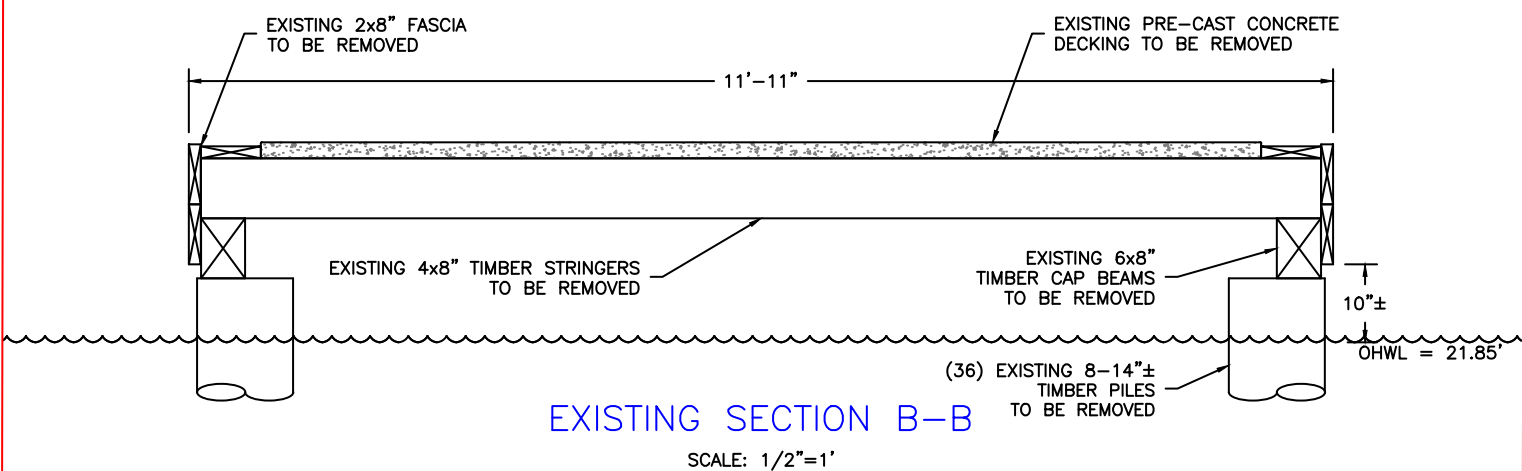
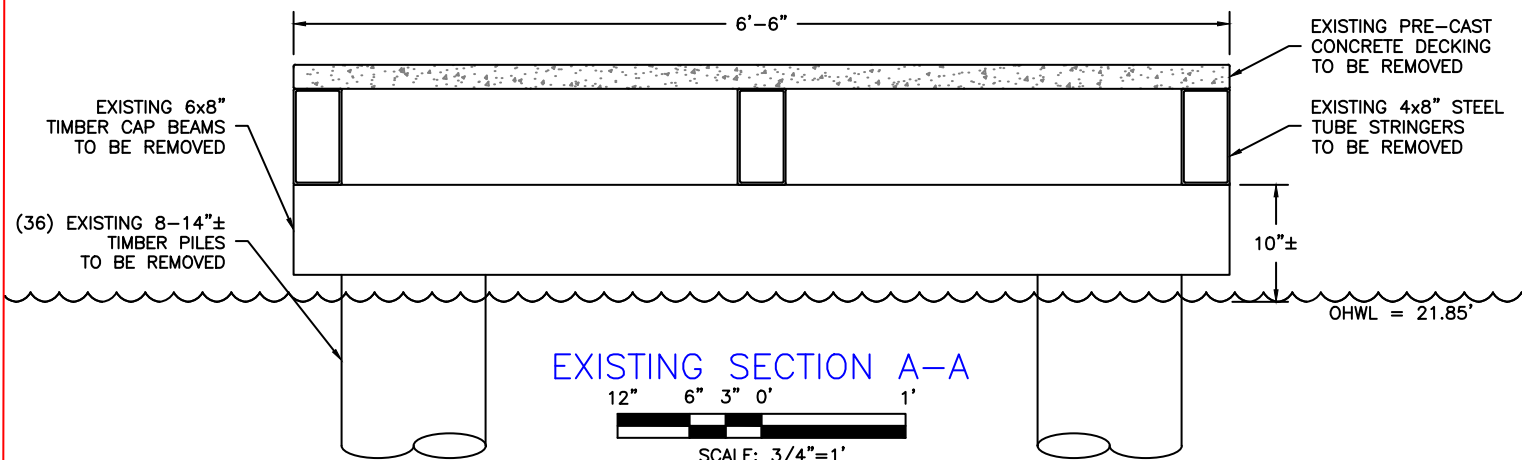
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PLANNING & DEVELOPMENT DEPT. AFFILIATE  
EMAIL DATED 12/20/2021.

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<b>REFERENCE #:</b>		
APPLICANT: MARK HOUTCHENS 6024 SE 22ND ST MERCER ISLAND, WA 98040		
PROPOSED: PIER REBUILD		
SHEET: 5	OF: 10	NEAR/AT: MERCER ISLAND
DATE: 11/3/2021	DWG#: 21-39001-A3-5	



PROJECT DESIGNED BY:  
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**REVISED**  
 12/22/2021

PER CITY OF MERCER ISLAND COMMUNITY PLANNING & DEVELOPMENT DEPT. AFFILIATE  
 EMAIL DATED 12/20/2021.

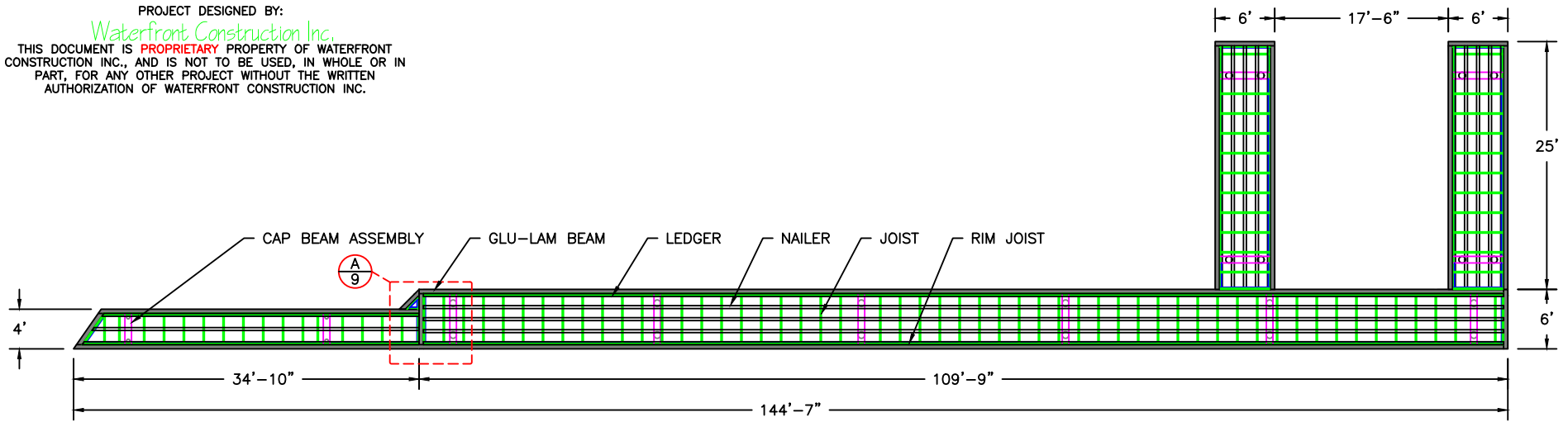
REFERENCE #:		
APPLICANT: MARK HOUTCHENS 6024 SE 22ND ST MERCER ISLAND, WA 98040		
PROPOSED: PIER REBUILD		
SHEET: 6	OF: 10	NEAR/AT: MERCER ISLAND
DATE: 11/3/2021	DWG#: 21-39001-A3-6	



PROJECT DESIGNED BY:

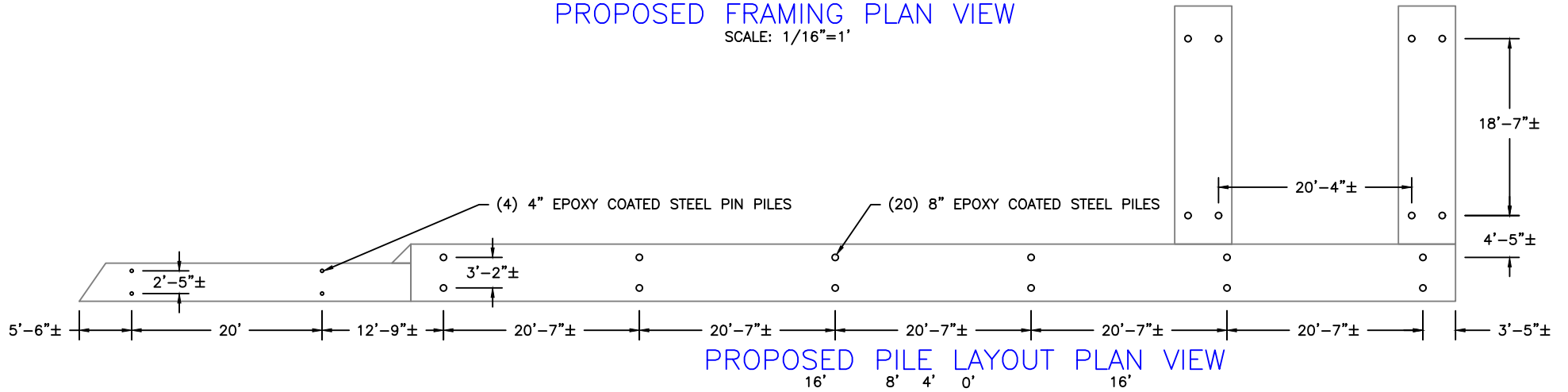
Waterfront Construction Inc.

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PROPOSED FRAMING PLAN VIEW

SCALE: 1/16"=1'

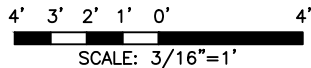


PROPOSED PILE LAYOUT PLAN VIEW

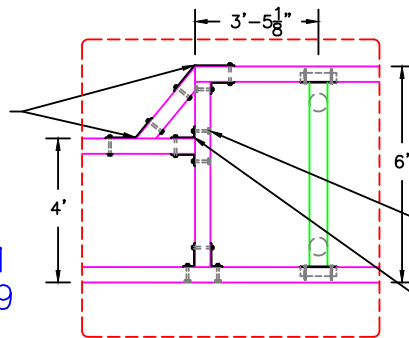
SCALE: 1/16"=1'

1/4" THICK x 8" DEEP STEEL PLATE (CONTRACTOR TO DETERMINE LENGTH OF PLATE), BENT AS SHOWN, ATTACH TO EACH BEAM WITH (2) 3/4" DIA. GALV. THRU-BOLTS W/ 2" DIA. GALV. WASHER. PROVIDE MIN. 5-1/2" BETWEEN BOLTS, PROVIDE MIN. 3" EDGE DISTANCE AT GLU-LAM BEAM, PROVIDE MIN. 1-1/2" EDGE DISTANCE AT STEEL PLATE.

TYPICAL GLU-LAM BEAM CONNECTION DETAIL A-9



SCALE: 3/16"=1'



(2) 3/4" DIA. GALV. THRU BOLTS W/ 2" DIA. GALV. WASHER, PROVIDE MIN. 3" EDGE DISTANCE AT GLU-LAM BEAM.

3/8"x4"x8"x8" LONG ANGLE BRACKET ON EITHER SIDE OF GLU-LAM BEAM

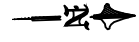
**REVISED**  
12/22/2021

PER CITY OF MERCER ISLAND COMMUNITY PLANNING & DEVELOPMENT DEPT. AFFILIATE  
EMAIL DATED 12/20/2021.

REFERENCE #:		
APPLICANT: MARK HOUTCHENS 6024 SE 22ND ST MERCER ISLAND, WA 98040		
PROPOSED: PIER REBUILD		
SHEET: 8	OF: 10	NEAR/AT: MERCER ISLAND
DATE: 11/3/2021	DWG#: 21-39001-A3-8	



**JOB SITE**  
 MARK HOUTCHENS  
 6024 SE 22ND ST  
 MERCER ISLAND, WA 98040  
 243970-0110



(2) PSEUDOTSUGA MENZIESII  
 (DOUGLAS-FIR) TREES TO REMAIN

SHORELINE PER WCI AERIAL PHOTO  
 02/08/2021 @ 10:30AM  
 LAKE LEVEL = 20.04'

(5) PROPOSED SNOWBERRY BUSHES

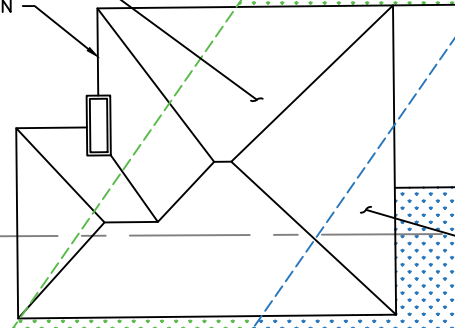
TOTAL SQUARE FEET 0-25' FROM OHWM = 2635.5 SQFT  
 TOTAL SQUARE FEET 25-50' FROM OHWM = 2624.2 SQFT

IMPERVIOUS SURFACE 0-25' = 21%  
 IMPERVIOUS SURFACE 25-50' = 31%

1800.6 SQFT NON-IMPERVIOUS  
 SURFACE WITHIN 25'-50'  
 FROM OHWM

823.6 SQFT IMPERVIOUS SURFACE  
 WITHIN 25'-50' FROM OHWM

EXISTING CABANA TO REMAIN



50' FROM OHWM

25' FROM OHWM

30' FROM OHWM

OHWM @ FACE  
 OF CONCRETE  
 BULKHEAD

FOOTPRINT OF  
 PROPOSED PIER

2066.9 SQFT NON-IMPERVIOUS  
 SURFACE WITHIN 25' OF OHWM

568.6 SQFT IMPERVIOUS  
 SURFACE WITHIN 25' OF OHWM

LAKE WASHINGTON

**REVISED**  
 12/22/2021

PER CITY OF MERCER ISLAND COMMUNITY  
 PLANNING & DEVELOPMENT DEPT. AFFILIATE  
 EMAIL DATED 12/20/2021.

EAST ADJACENT PIER  
 NO WORK PROPOSED

PROJECT DESIGNED BY:

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**PROPOSED IMPERVIOUS  
 SURFACE CALCULATION - PLAN VIEW**

20' 15' 10' 5' 0' 20'

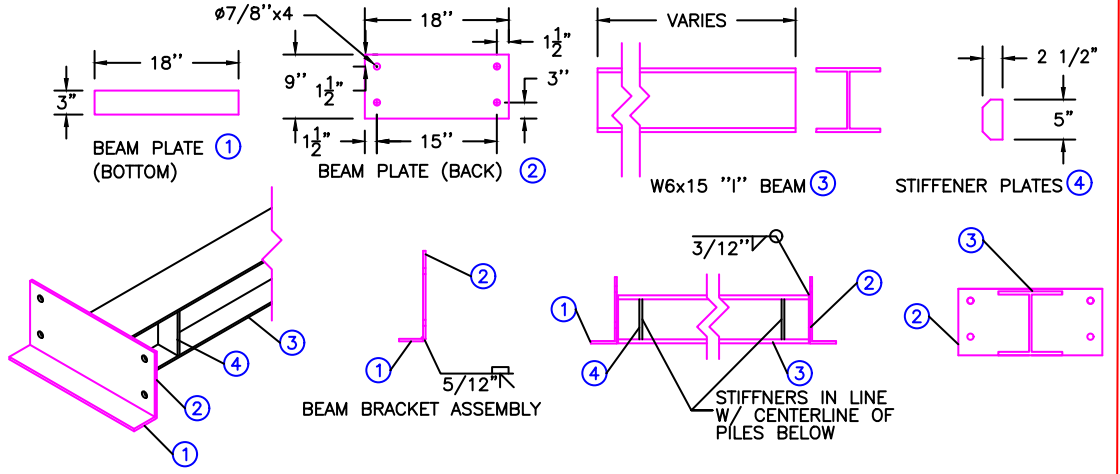


SCALE: 1"=20'

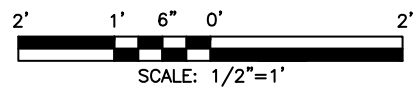
<b>REFERENCE #:</b>		
APPLICANT: MARK HOUTCHENS 6024 SE 22ND ST MERCER ISLAND, WA 98040		
<b>PROPOSED: PIER REBUILD</b>		
SHEET: 9	OF: 10	NEAR/AT: MERCER ISLAND
DATE: 11/3/2021	DWG#: 21-39001-A3-9	

MATERIAL LIST

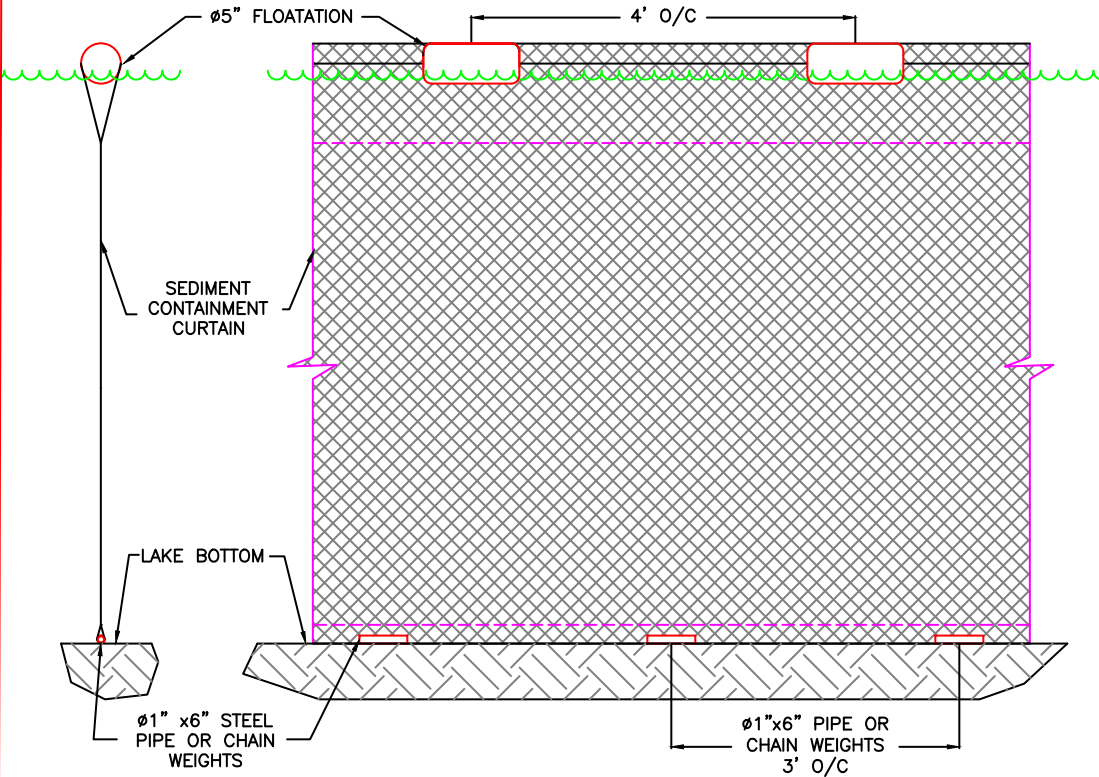
PART	SPECS	TREATMENT	QTY.
PILING	X-STRONG 4" & 8"	EPOXY	(24)
CAPS	W6x15 "I" BEAM	EPOXY	±71-LF
GLU-LAMS	5 1/8"x15" DF	ACZA	±424-LF
JOIST	2"x6" DF #2 OR BTR	ACZA	±473-LF
RIM JOIST	2"x6" DF #2 OR BTR	ACZA	±433-LF
NAILERS	2"x4" DF #2 OR BTR	ACZA	±1067-LF
LEDGERS	3"x4" DF #2 OR BTR	ACZA	±347-LF
GRATING	MOLDED PLASTIC	NONE	±1067-SF
HARDWARE	STEEL	STAINLESS OR HDG.	



STEEL CAP ASSEMBLY



PART #	NOMENCLATURE OR DESCRIPTION	MATERIAL SPECIFICATION
4	STIFFENER PLATES	5"x2-1/2"x1/4" STEEL PLATE
3	W6x15 "I" BEAM	6" 15 LB PER FOOT I-BEAM
2	BACK BEAM PLATE	18"x9"x5/12" STEEL PLATE
1	BOTTOM BEAM PLATE	18"x3"x5/12" STEEL PLATE



TEMP. FLOATING SILT CONTAINMENT FENCE

SCALE: 1/2"=1'

REVISED  
12/22/2021

PER CITY OF MERCER ISLAND COMMUNITY PLANNING & DEVELOPMENT DEPT. AFFILIATE  
EMAIL DATED 12/20/2021.

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REFERENCE #:	
APPLICANT:	MARK HOUTCHENS 6024 SE 22ND ST MERCER ISLAND, WA 98040
PROPOSED:	PIER REBUILD
SHEET:	10 OF 11 NEAR/AT: MERCER ISLAND
DATE:	11/3/2021 DWG#: 21-39001-A3-10